

NOTE: BUILDER TO VERIFY LOCATION OF ALL HYDRANTS, STREET LIGHTS, TRANSFORMERS AND OTHER SERVICES. IF MIN. DIMENSIONS ARE NOT MAINTAINED BUILDER IS TO RELOCATE AT HIS OWN EXPENSE.

LEGEND

TFW

TBS

USF

USFR

USFG

TEF

R

WOD

LOB

WOB

WUB

REV

STD

△

○

AC

→

FFE

TOP OF FOUNDATION WALL

TOP OF BASEMENT SLAB

UNDER SIDE FOOTING

UNDER SIDE FOOTING @ REAR

UNDER SIDE FOOTING @ GARAGE

TOP OF ENGINEERED FILL

NUMBER OF RISERS TO GRADE

WALKOUT DECK

LOOKOUT BASEMENT

WALK OUT BASEMENT

WALK UP BASEMENT

REVERSE PLAN

STANDARD PLAN

DOOR

WINDOW

AIR CONDITIONING

DOWN SPOUT TO SPLASH PAD

DOWNSPOUT CONNECTED TO STM

SWALE DIRECTION

SP

BP

CB

DBL

ENG

HC

SL

MB

TR

SC2

SC1

WC

CH

HM

GM

MS

MF

SL

XX

XXX

FT

SUMP PUMP

BELL PEDESTAL

CABLE PEDESTAL

CATCH BASIN

DBL. CATCH BASIN

ENGINEERED FILL

HYDRO CONNECTION

FIRE HYDRANT

STREET LIGHT

MAIL BOX

TRANSFORMER

SEWER CONNECTIONS 2 LOTS

SEWER CONNECTIONS 1 LOT

WATER CONNECTION

WATER VALVE CHAMBER

HYDRANT AND VALVE

HYDRO METER

GAS METER

MANHOLE - STORM

MANHOLE - SANITARY

CHAINLINK FENCE

PRIVACY FENCE

SOUND BARRIER

FOOTING TO BE EXTENDED TO 1.22 (MIN) BELOW GRADE TO CONFIRM WITH WORKING DRAWINGS FOR SPECIFIC SIZES THAT MAY SUPERSEDE THIS SIZE.

ISSUED OR REVISION COMMENTS				
NO.	DESCRIPTION	DATE	DWN	CHK
1	ISSUED FOR REVIEW	01-AUG-23	BWS	
2	ISSUED FOR REVIEW	18-AUG-23	PP	AL
3	ISSUED FINAL	04-SEP-23	PP	AL
4	ADDED MUNICIPAL ADDRESS	01-FEB-24	D.H	

RN

DESIGN

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I, ARTHUR PUI YAN LAW DECLARE THAT I HAVE REVIEWED AND TAKEN DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF **RN DESIGN LTD.** UNDER DIVISION C, PART-3 SUBSECTION 3.2.4 OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES / CATEGORIES.

QUALIFIED DESIGNER BCIN: 41230
FIRM BCIN: 26995
DATE:

SIGNATURE:

CLIENT

LINDWIDE DEVELOPMENTS

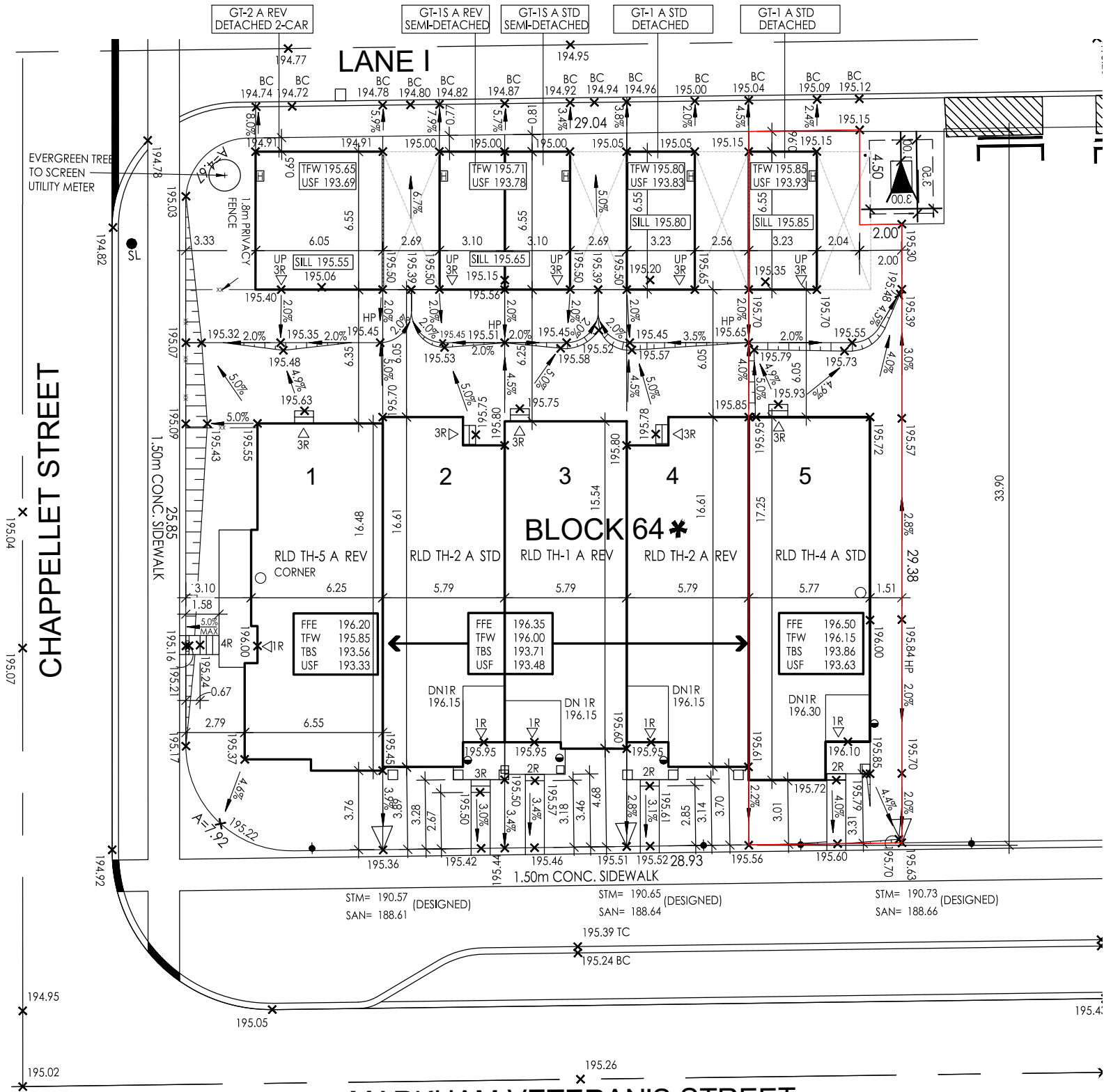
PROJECT/LOCATION

CORNELL
CITY OF MARKHAM

DRAWING

SITE PLAN

DRAWN BY		SCALE	
PP		1:250	
PROJECT No.		LOT NUMBER	
19090		BLK 64	



BLOCK 64 (MARKHAM VETERAN'S STREET)						
LOT#	MUNICIPAL ADDRESS	MODEL	GARAGE MODEL	GARAGE DIM. W x L (m)	LOT FRONTAGE (m)	AMENITY SPACE (m2)
1	92 MARKHAM VETERANS DRIVE	RLD TH-5 A REV	GT-2 A REV DETACHED 2 CAR	5.59 X 6.10	9.34	73.16
2	90 MARKHAM VETERANS DRIVE	RLD TH-2 A STD	GT-1S A REV SEMI-DETACHED	2.77 X 6.10	5.79	46.21
3	88 MARKHAM VETERANS DRIVE	RLD TH-1 A REV	GT-1S A STD SEMI-DETACHED	2.77 X 6.10	5.79	44.74
4	86 MARKHAM VETERANS DRIVE	RLD TH-2 A REV	GT-1 A STD DETACHED	2.77 X 6.10	5.79	46.20
5	84 MARKHAM VETERANS DRIVE	RLD TH-4 A STD	GT-1 A STD DETACHED	2.77 X 6.10	7.28	54.67

- FOOTINGS TO BEAR ON NATURAL UNDISTURBED SOIL AND BE A MIN. OF 1.22m BELOW FINISHED GRADE. UNDERSIDE OF FOOTINGS SHOWN ARE TAKEN FROM ARCHITECTURAL PLANS AND MY NOT REPRESENT ACTUAL FOOTING LEVEL.
- BASE CURB ELEVATION TO BE CHECKED VS GARAGE SLAB ELEVATION TO ENSURE ADEQUATE DRIVEWAY GRADE BEFORE CONSTRUCTING GARAGE.
- DOWNSPOUTS TO DISCHARGE ONTO GROUND VIA SPLASH PAD
- FOR DETAILS OF THE LANEWAY & PRIVACY FENCE REFER TO THE LANDSCAPE DRAWINGS

BUILDING TO ENSURE WATERBOX IS ACCESSIBLE AND OPERATIONAL AT ALL TIMES

NOTE: BUILDER TO VERIFY LOCATION OF ALL HYDRANTS, STREET LIGHTS, TRANSFORMERS AND OTHER SERVICES. IF MIN. DIMENSIONS ARE NOT MAINTAINED BUILDER IS TO RELOCATE AT HIS OWN EXPENSE.

FFFE

FINISHED FLOOR ELEVATION

TFW

TOP OF FOUNDATION WALL

TBS

TOP OF BASEMENT SLAB

USF

UNDER SIDE FOOTING

USFR

UNDER SIDE FOOTING @ REAR

USFG

UNDER SIDE FOOTING @ GARAGE

TEF

TOP OF ENGINEERED FILL

R

NUMBER OF RISERS TO GRADE

WOD

WALKOUT DECK

LOB

LOOKOUT BASEMENT

WOB

WALK OUT BASEMENT

WUB

WALK UP BASEMENT

REV

REVERSE PLAN

STD

STANDARD PLAN

△

DOOR

○

WINDOW

AC

AIR CONDITIONING

↓

DOWN SPOUT TO SPLASH PAD

□

DOWNSPOUT CONNECTED TO STM

→

SWALE DIRECTION

SP

SUMP PUMP

BP

BELL PEDESTAL

CP

CABLE PEDESTAL

CB

CATCH BASIN

DBL

DBL. CATCH BASIN

EF

ENGINEERED FILL

HC

HYDRO CONNECTION

FD

FIRE HYDRANT

SL

STREET LIGHT

MB

MAIL BOX

TR

TRANSFORMER

SC2

SEWER CONNECTIONS 2 LOTS

SC1

SEWER CONNECTIONS 1 LOT

WC

WATER CONNECTION

WV

WATER VALVE CHAMBER

HV

HYDRANT AND VALVE

HM

HYDRO METER

GM

GAS METER

MS

MANHOLE - STORM

MS-S

MANHOLE - SANITARY

—X—

CHAINLINK FENCE

—XX—

PRIVACY FENCE

—XXX—

SOUND BARRIER

—

FOOTING TO BE EXTENDED TO 1.22 (MIN) BELOW GRADE TO CONFIRM WITH WORKING DRAWINGS FOR SPECIFIC SIZES THAT MAY SUPERSEDE THIS SIZE.

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3	REVISED PER ENG COMM - FINAL	02-JUN-23	BWS	
4	ISSUED FINAL	04-JUL-23	BWS	AL
5	REVISED PER ENG COMM - FINAL	21-JUL-23	BWS	AL

RN

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FIRM BCIN: 26995
DATE:

SIGNATURE:

CLIENT

LINDWIDE DEVELOPMENTS

PROJECT/LOCATION

CORNELL
CITY OF MARKHAM

DRAWING

SITE PLAN

DRAWN BY

BWS

SCALE

1:250

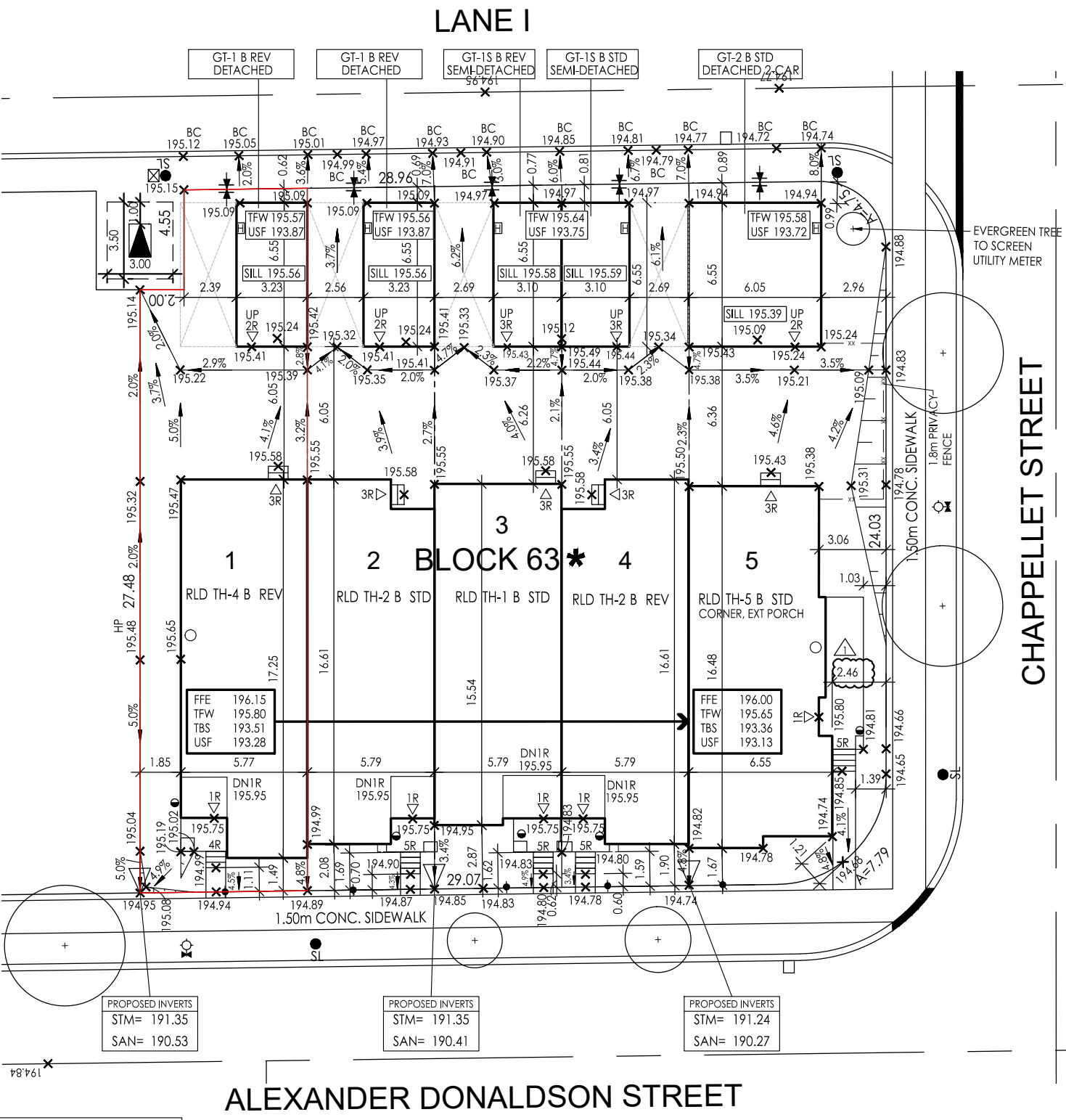
PROJECT No.

19090

LOT NUMBER

BLK 63

NOTE=FRONT RISERS ARE 0.25 m



BLOCK 63 (ALEXANDER DONALDSON STREET)							
LOT#	MUNICIPAL ADDRESS	MODEL	GARAGE MODEL	GARAGE DIM. W x L (m)	LOT FRONTAGE (m)	AMENITY SPACE (m2)	BUILDING HEIGHT (m)
1	3	RLD TH-4 B REV	GT-1 B REV DETACHED	2.77 X 6.10	7.62	46.2	8.0
2	5	RLD TH-2 B STD	GT-1 B REV DETACHED	2.77 X 6.10	5.79	37.8	
3	7	RLD TH-1 B STD	GT-1S B REV SEMI-DETACHED	2.77 X 6.10	5.79	36.4	
4	9	RLD TH-2 B REV	GT-1S B STD SEMI-DETACHED	2.77 X 6.10	5.79	37.7	
5	11	RLD TH-5 B STD	GT-2 B STD DETACHED 2 CAR	5.59 X 6.10	9.0	56.5	

- FOOTINGS TO BEAR ON NATURAL UNDISTURBED SOIL AND BE A MIN. OF 1.22m BELOW FINISHED GRADE. UNDERSIDE OF FOOTINGS SHOWN ARE TAKEN FROM ARCHITECTURAL PLANS AND MY NOT REPRESENT ACTUAL FOOTING LEVEL.
- BASE CURB ELEVATION TO BE CHECKED VS GARAGE SLAB ELEVATION TO ENSURE ADEQUATE DRIVEWAY GRADE BEFORE CONSTRUCTING GARAGE.
- DOWNSPOUTS TO DISCHARGE ONTO GROUND VIA SPLASH PAD
- FOR DETAILS OF THE LANEWAY & PRIVACY FENCE REFER TO THE LANDSCAPE DRAWINGS

BUILDING TO ENSURE WATERBOX IS ACCESSIBLE AND OPERATIONAL AT ALL TIMES

NOTE: BUILDER TO VERIFY LOCATION OF ALL HYDRANTS, STREET LIGHTS, TRANSFORMERS AND OTHER SERVICES. IF MIN. DIMENSIONS ARE NOT MAINTAINED BUILDER IS TO RELOCATE AT HIS OWN EXPENSE.

LEGEND

TFW

TBS

USF

USFR

USFG

TEF

R

WOD

LOB

WOB

WUB

REV

STD

△

○

AC

→

FINISHED FLOOR ELEVATION

TOP OF FOUNDATION WALL

TOP OF BASEMENT SLAB

UNDER SIDE FOOTING

UNDER SIDE FOOTING @ REAR

UNDER SIDE FOOTING @ GARAGE

TOP OF ENGINEERED FILL

NUMBER OF RISERS TO GRADE

WALKOUT DECK

LOOKOUT BASEMENT

WALK OUT BASEMENT

WALK UP BASEMENT

REVERSE PLAN

STANDARD PLAN

DOOR

WINDOW

AIR CONDITIONING

DOWN SPOUT TO SPLASH PAD

DOWNSPOUT CONNECTED TO STM

SWALE DIRECTION

SP

BC

TFW

TBS

USF

USFR

USFG

TEF

R

WOD

LOB

WOB

WUB

REV

STD

△

○

AC

→

SUMP PUMP

BELL PEDESTAL

CABLE PEDESTAL

CATCH BASIN

DBL. CATCH BASIN

ENGINEERED FILL

HYDRO CONNECTION

FIRE HYDRANT

STREET LIGHT

MAIL BOX

TRANSFORMER

SEWER CONNECTIONS 2 LOTS

SEWER CONNECTIONS 1 LOT

WATER CONNECTION

WATER VALVE CHAMBER

HYDRANT AND VALVE

HYDRO METER

GAS METER

MANHOLE - STORM

MANHOLE - SANITARY

CHAINLINK FENCE

PRIVACY FENCE

SOUND BARRIER

FOOTING TO BE EXTENDED TO 1.22 (MIN) BELOW GRADE

NOTE: USF IS BASED ON 150mm (6") FOOTING DEPTH. CONTRACTOR TO CONFIRM WITH WORKING DRAWINGS FOR SPECIFIC SIZES THAT MAY SUPERSEDE THIS SIZE.

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5	REVISED PER ENG COMM - FINAL	21-JUL-23	BWS	AL

RN

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FIRM BCIN: 26995
DATE:

SIGNATURE:

CLIENT

LINDWIDE DEVELOPMENTS

PROJECT/LOCATION

CORNELL
CITY OF MARKHAM

DRAWING

SITE PLAN

DRAWN BY

BWS

SCALE

1:250

PROJECT No.

19090

LOT NUMBER

BLK 22

VICE CHANCELLOR DRIVE

BLOCK 22 (VICE CHANCELLOR DRIVE)						
LOT#	MUNICIPAL ADDRESS	MODEL	GARAGE MODEL	GARAGE DIM. W x L (m)	LOT FRONTAGE (m)	AMENITY SPACE (m2)
1	9	RLD TH-4 B REV	GT-1 B REV DETACHED	2.77 X 6.10	7.33	44.0
2	11	RLD TH-2 B STD	GT-1 B REV DETACHED	2.77 X 6.10	5.79	38.3
3	13	RLD TH-1 B STD	GT-1S B REV SEMI-DETACHED	2.77 X 6.10	5.79	35.9
4	15	RLD TH-2 B REV	GT-1S B STD SEMI-DETACHED	2.77 X 6.10	5.79	37.5
5	17	RLD TH-5 B STD	GT-2 B STD DETACHED 2 CAR	5.59 X 6.10	10.5	63.3

SERVICE CONECTIONS ARE PROPOSED: BUILDER TO CONFIRM AS-BUILT CONNECTIONS. PRIOR TO CONSTRUCTION OF FOOTINGS.

- FOOTINGS TO BEAR ON NATURAL UNDISTURBED SOIL AND BE A MIN. OF 1.22m BELOW FINISHED GRADE. UNDERSIDE OF FOOTINGS SHOWN ARE TAKEN FROM ARCHITECTURAL PLANS AND MY NOT REPRESENT ACTUAL FOOTING LEVEL.
- BASE CURB ELEVATION TO BE CHECKED VS GARAGE SLAB ELEVATION TO ENSURE ADEQUATE DRIVEWAY GRADE BEFORE CONSTRUCTING GARAGE.
- DOWNSPOUTS TO DISCHARGE ONTO GROUND VIA SPLASH PAD
- FOR DETAILS OF THE LANEWAY & PRIVACY FENCE REFER TO THE LANDSCAPE DRAWINGS

BUILDING TO ENSURE WATERBOX IS ACCESSIBLE AND OPERATIONAL AT ALL TIMES

File: D:\RN 2019 Projects\19090\Site Planning\Architectural (RN)\Site Plan\19090-SP100-PHASE 2&3(TOWNS & STACKS).dwg Plotted: Jul 08, 2025 By:DavidH

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LEGEND

FFE	FINISHED FLOOR ELEVATION		SUMP PUMP
TFW	TOP OF FOUNDATION WALL		BELL PEDESTAL
TBS	TOP OF BASEMENT SLAB		CABLE PEDESTAL
USF	UNDER SIDE FOOTING		CATCH BASIN
USFR	UNDER SIDE FOOTING @ REAR		DBL. CATCH BASIN
USFG	UNDER SIDE FOOTING @ GARAGE		ENGINEERED FILL
TEF	TOP OF ENGINEERED FILL		HYDRO CONNECTION
R	NUMBER OF RISERS TO GRADE		FIRE HYDRANT
WOD	WALKOUT DECK		STREET LIGHT
LOB	LOOKOUT BASEMENT		MAIL BOX
WOB	WALK OUT BASEMENT		TRANSFORMER
WUB	WALK UP BASEMENT		SEWER CONNECTIONS 2 LOTS
REV	REVERSE PLAN		SEWER CONNECTIONS 1 LOT
STD	STANDARD PLAN		WATER CONNECTION
△	DOOR		WATER VALVE CHAMBER
○	WINDOW		HYDRANT AND VALVE
AC	AIR CONDITIONING		HYDRO METER
	DOWN SPOUT TO SPLASH PAD		GAS METER
	DOWNSPOUT CONNECTED TO STM		MANHOLE - STORM
→	SWALE DIRECTION		MANHOLE - SANITARY
—X—	CHAINLINK FENCE		
—XX—	PRIVACY FENCE		
—XXX—	SOUND BARRIER		
— — — — —	FOOTING TO BE EXTENDED TO 1.22 (MIN) BELOW GRADE		

NOTE: USF IS BASED ON 150mm (6") FOOTING DEPTH. CONTRACTOR TO CONFIRM WITH WORKING DRAWINGS FOR SPECIFIC SIZES THAT MAY SUPERSEDE THIS SIZE.

RN
DESIGN

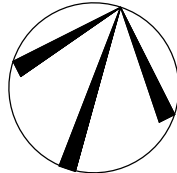
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SIGNATURE: _____

PROJECT/LOCATION

CORNELL
CITY OF MARKHAM

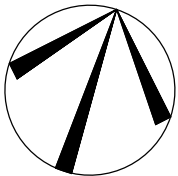
DRAWN BY BWS	SCALE 1:250
PROJECT No. 19090	LOT NUMBER BLK 19



*NOTE-PLEASE REFER TO FLOOR PLANS FOR A/C LOCATION, IT'S LOCATED AT THE BALCONY IN FRONT & REAR, SCREENED AWAY FROM PUBLIC VIEW.

- BUILDING TO ENSURE WATERBOX IS ACCESSIBLE AND OPERATIONAL AT ALL TIMES

NOTE: BUILDER TO VERIFY LOCATION OF ALL HYDRANTS, STREET LIGHTS, TRANSFORMERS AND OTHER SERVICES. IF MIN. DIMENSIONS ARE NOT MAINTAINED BUILDER IS TO RELOCATE AT HIS OWN EXPENSE.



LANE J

LEGEND

FFE	FINISHED FLOOR ELEVATION	SP	SUMP PUMP
TFW	TOP OF FOUNDATION WALL	BP	BELL PEDESTAL
TBS	TOP OF BASEMENT SLAB	CB	CATCH BASIN
USF	UNDER SIDE FOOTING	DBL	DBL. CATCH BASIN
USFR	UNDER SIDE FOOTING @ REAR	ENG	ENGINEERED FILL
USFG	UNDER SIDE FOOTING @ GARAGE	HC	HYDRO CONNECTION
TEF	TOP OF ENGINEERED FILL	FH	FIRE HYDRANT
R	NUMBER OF RISERS TO GRADE	SL	STREET LIGHT
WOD	WALKOUT DECK	MB	MAIL BOX
LOB	LOOKOUT BASEMENT	TR	TRANSFORMER
WOB	WALK OUT BASEMENT	SC2	SEWER CONNECTIONS 2 LOTS
WUB	WALK UP BASEMENT	SC1	SEWER CONNECTIONS 1 LOT
REV	REVERSE PLAN	WC	WATER CONNECTION
STD	STANDARD PLAN	WV	WATER VALVE CHAMBER
△	DOOR	HV	HYDRANT AND VALVE
○	WINDOW	HM	HYDRO METER
AC	AIR CONDITIONING	GM	GAS METER
DS	DOWN SPOUT TO SPLASH PAD	MS	MANHOLE - STORM
DS	DOWNSPOUT CONNECTED TO STM	MS	MANHOLE - SANITARY
→	SWALE DIRECTION		
---	CHAINLINK FENCE		
---	PRIVACY FENCE		
---	SOUND BARRIER		
---	FOOTING TO BE EXTENDED TO 1.22 (MIN) BELOW GRADE TO CONFIRM WITH WORKING DRAWINGS FOR SPECIFIC SIZES THAT MAY SUPERSEDE THIS SIZE.		

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RN DESIGN

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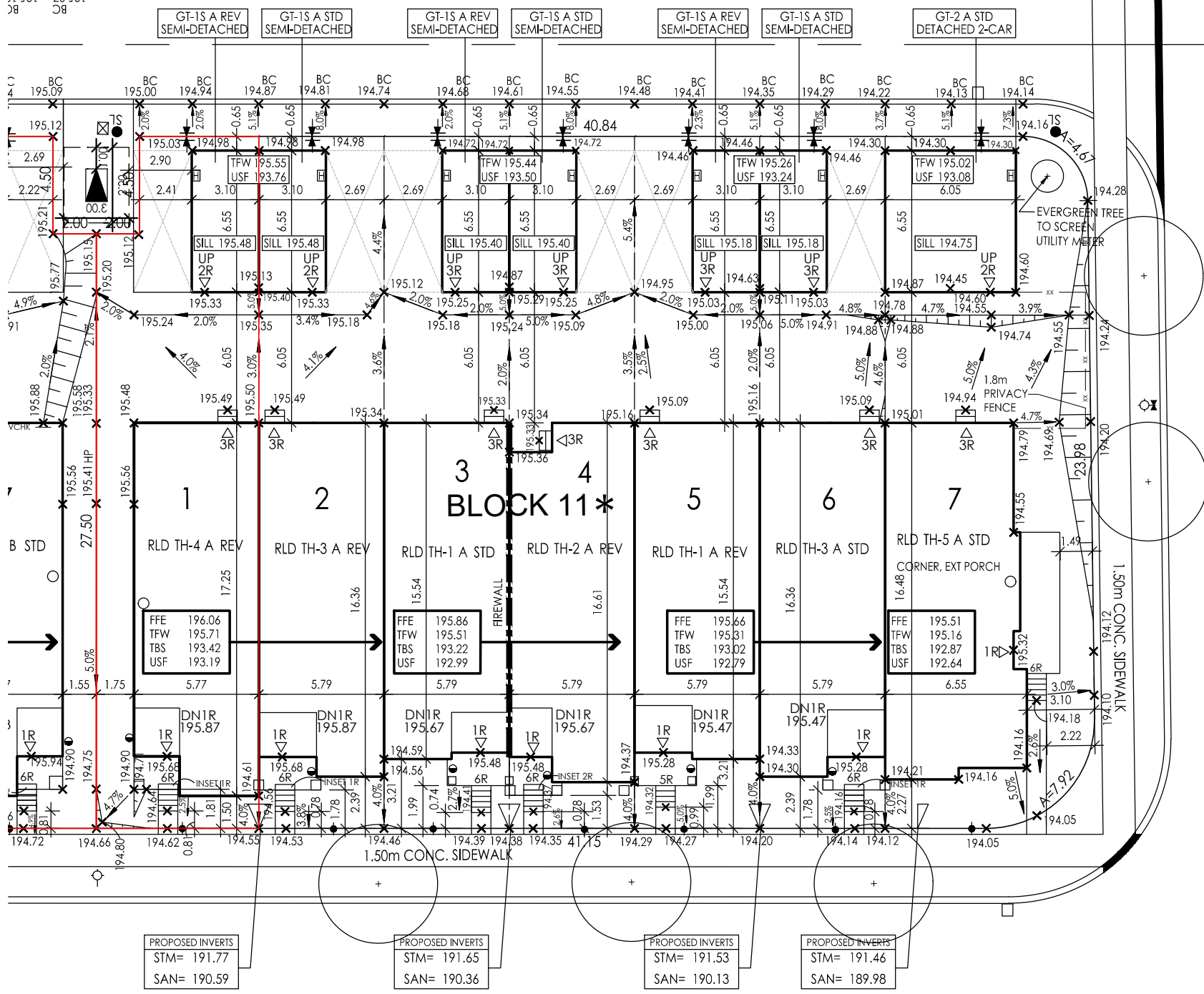
SIGNATURE:

CLIENT
LINDWIDE DEVELOPMENTS

PROJECT/LOCATION
**CORNELL
CITY OF MARKHAM**

DRAWING
SITE PLAN

DRAWN BY	SCALE
BWS	1:250
PROJECT No.	LOT NUMBER
19090	BLK 11



ALEXANDER DONALDSON STREET

ROVER HOUSE AVENUE

NOTE=FRONT RISERS ARE 0.25 m

BLOCK 11 (ROVER HOUSE AVENUE)							
LOT#	MUNICIPAL ADDRESS	MODEL	GARAGE MODEL	GARAGE DIM. W x L (m)	LOT FRONTAGE (m)	AMENITY SPACE (m ²)	BUILDING HEIGHT (m)
1	16	RLD TH-4 A REV	GT-1S A REV SEMI-DETACHED	2.77 X 6.10	7.52	45.3	8.4
2	18	RLD TH-3 A REV	GT-1S A STD SEMI-DETACHED	2.77 X 6.10	5.79	35.0	
3	20	RLD TH-1 A STD	GT-1S A REV SEMI-DETACHED	2.77 X 6.10	5.79	35.0	
4	22	RLD TH-2 A REV	GT-1S A STD SEMI-DETACHED	2.77 X 6.10	5.79	37.7	
5	24	RLD TH-1 A REV	GT-1S A REV SEMI-DETACHED	2.77 X 6.10	5.79	35.0	
6	26	RLD TH-3 A STD	GT-1S A STD SEMI-DETACHED	2.77 X 6.10	5.79	35.0	
7	28	RLD TH-5 A STD	GT-2 A STD DETACHED 2 CAR	5.59 X 6.10	9.60	57.2	

- FOOTINGS TO BEAR ON NATURAL UNDISTURBED SOIL AND BE A MIN. OF 1.22m BELOW FINISHED GRADE. UNDERSIDE OF FOOTINGS SHOWN ARE TAKEN FROM ARCHITECTURAL PLANS AND MY NOT REPRESENT ACTUAL FOOTING LEVEL.
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BUILDING TO ENSURE WATERBOX IS ACCESSIBLE AND OPERATIONAL AT ALL TIMES

LEGEND

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TFW	TOP OF FOUNDATION WALL		BELL PEDESTAL
TBS	TOP OF BASEMENT SLAB		CABLE PEDESTAL
USF	UNDER SIDE FOOTING		CATCH BASIN
USFR	UNDER SIDE FOOTING @ REAR		DBL. CATCH BASIN
USFG	UNDER SIDE FOOTING @ GARAGE		ENGINEERED FILL
TEF	TOP OF ENGINEERED FILL		HYDRO CONNECTION
R	NUMBER OF RISERS TO GRADE		FIRE HYDRANT
WOD	WALKOUT DECK		STREET LIGHT
LOB	LOOKOUT BASEMENT		MAIL BOX
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AC	AIR CONDITIONING		HYDRO METER
	DOWN SPOUT TO SPLASH PAD		GAS METER
	DOWNSPOUT CONNECTED TO STIM SWALE DIRECTION		MANHOLE - STORM
→			MANHOLE - SANITARY
—X—	CHAINLINK FENCE		
—XX—	PRIVACY FENCE		
—XXX—	SOUND BARRIER		
— — —	FOOTING TO BE EXTENDED TO 1.22' (MIN) BELOW GRADE		

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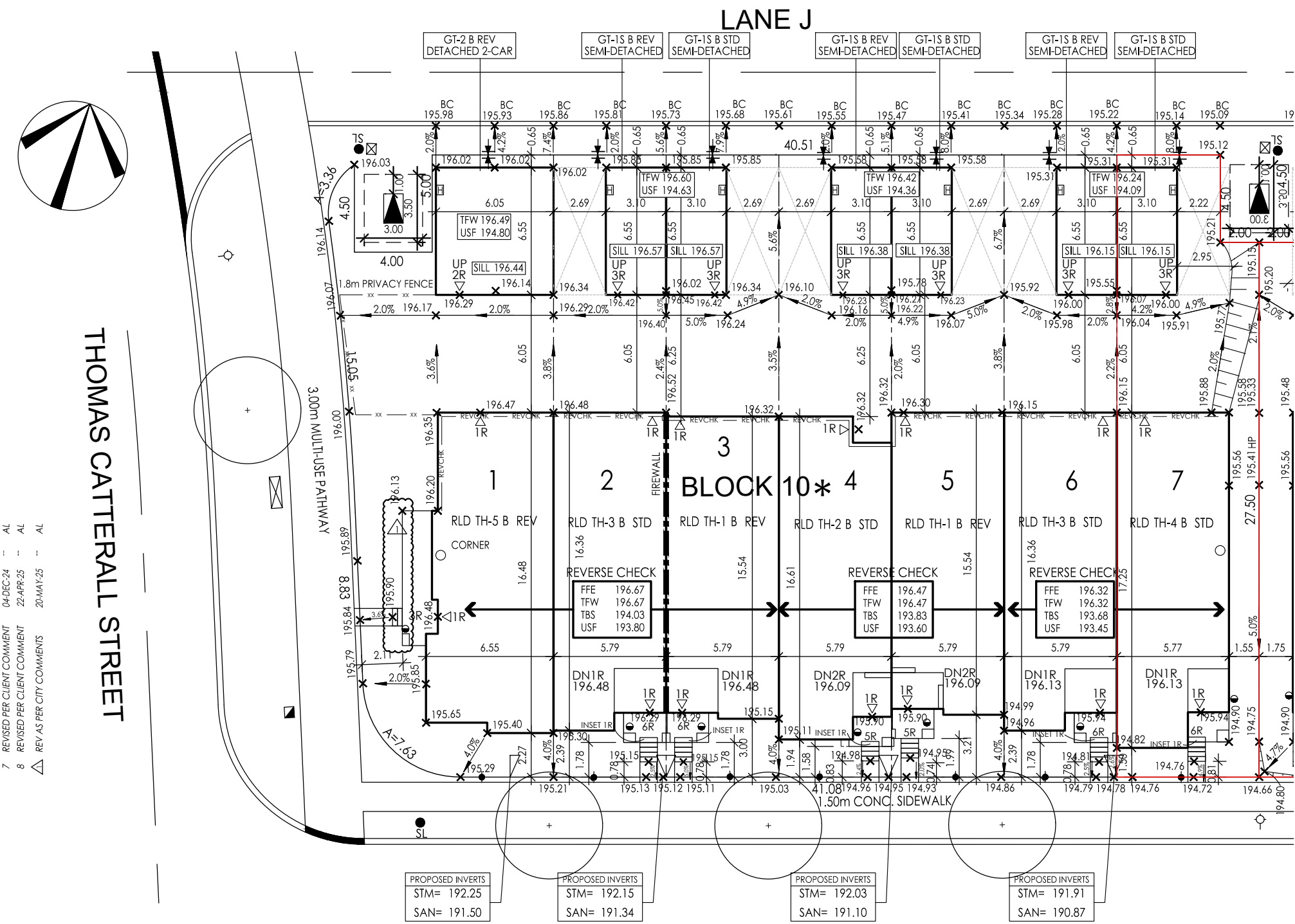
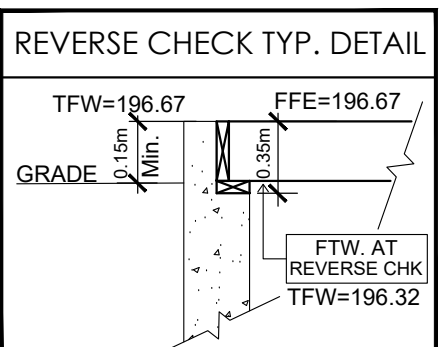
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DATE:	

SIGNATURE: _____

CLIENT	LINDWIDE DEVELOPMENTS
PROJECT/LOCATION	CORNELL CITY OF MARKHAM
DRAWING	SITE PLAN

DRAWN BY BWS	SCALE 1:250
PROJECT No. 19090	LOT NUMBER BLK 10



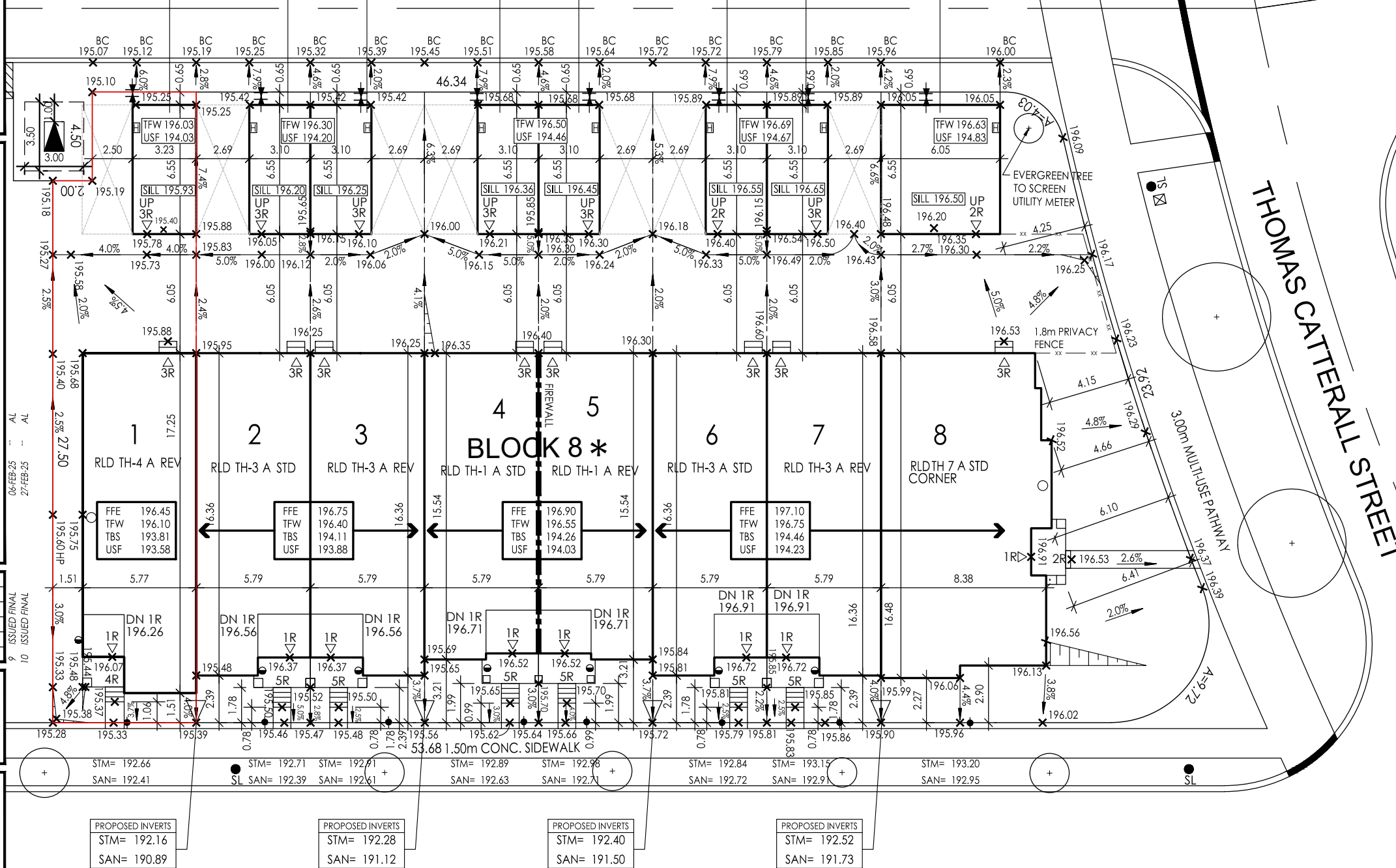
SERVICE CONNECTIONS ARE PROPOSED:
BUILDER TO CONFIRM AS-BUILT
CONNECTIONS, PRIOR TO CONSTRUCTION
OF FOOTINGS.

BLOCK 10 (ROVER HOUSE AVENUE)							
LOT#	MUNICIPAL ADDRESS	MODEL	GARAGE MODEL	GARAGE DIM. W x L (m)	LOT FRONTAGE (m)	AMENITY SPACE (m2)	BUILDING HEIGHT (m)
1	2	RLD TH-5 B REV	GT-2 B REV DETACHED 2 CAR	5.59 X 6.10	9.65	65.4	8.2
2	4	RLD TH-3 B STD	GT-1S B REV SEMI-DETACHED	2.77 X 6.10	5.79	35.0	
3	6	RLD TH-1 B REV	GT-1S B STD SEMI-DETACHED	2.77 X 6.10	5.79	36.2	
4	8	RLD TH-2 B STD	GT-1S B REV SEMI-DETACHED	2.77 X 6.10	5.79	38.9	
5	10	RLD TH-1 B REV	GT-1S B STD SEMI-DETACHED	2.77 X 6.10	5.79	35.0	
6	12	RLD TH-3 B STD	GT-1S B REV SEMI-DETACHED	2.77 X 6.10	5.79	35.0	
7	14	RLD TH-4 B STD	GT-1S B STD SEMI-DETACHED	2.77 X 6.10	7.32	44.4	

1. FOOTINGS TO BEAR ON NATURAL UNDISTURBED SOIL AND BE MIN. OF 1.22m BELOW FINISHED GRADE. UNDERSIDE OF FOOTINGS SHOWN ARE TAKEN FROM ARCHITECTURAL PLANS AND MY NOT REPRESENT ACTUAL FOOTING LEVEL.
2. BASE CURB ELEVATION TO BE CHECKED VS GARAGE SLAB ELEVATION TO ENSURE ADEQUATE DRIVEWAY GRADE BEFORE CONSTRUCTING GARAGE.
3. DOWNSPOUTS TO DISCHARGE ONTO GROUND VIA SPLASH PAD
4. FOR DETAILS OF THE LANEWAY & PRIVACY FENCE REFER TO THE LANDSCAPE DRAWINGS

BUILDING TO ENSURE WATERBOX IS ACCESSIBLE AND OPERATIONAL AT ALL TIMES

GT-1 A REV DETACHED	GT-1S A REV SEMI-DETACHED	GT-1S A STD SEMI-DETACHED	GT-1S A REV SEMI-DETACHED	GT-1S A STD SEMI-DETACHED	GT-1S A REV SEMI-DETACHED	GT-1S A STD SEMI-DETACHED	GT-2 A STD DETACH 2-CAR
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NOTE=FRONT RISERS ARE 0.25 m

CHAPPELLET STREET

BLOCK 8 (CHAPPELLET STREET)							
LOT#	MUNICIPAL ADDRESS	MODEL	GARAGE MODEL	GARAGE DIM. W x L (m)	LOT FRONTAGE (m)	AMENITY SPACE (m2)	BUILDING HEIGHT (m)
1	19	RLD TH-4 A REV	GT-1 A REV DETACHED	2.77 X 6.10	7.28	44.0	8.4
2	17	RLD TH-3 A STD	GT-1S A REV SEMI-DETACHED	2.77 X 6.10	5.79	35.0	
3	15	RLD TH-3 A REV	GT-1S A STD SEMI-DETACHED	2.77 X 6.10	5.79	35.0	
4	13	RLD TH-1 A STD	GT-1S A REV SEMI-DETACHED	2.77 X 6.10	5.79	35.0	
5	11	RLD TH-1 A REV	GT-1S A STD SEMI-DETACHED	2.77 X 6.10	5.79	35.0	
6	9	RLD TH-3 A STD	GT-1S A REV SEMI-DETACHED	2.77 X 6.10	5.79	35.0	
7	7	RLD TH-3 A REV	GT-1S A STD SEMI-DETACHED	2.77 X 6.10	5.79	35.0	
8	5	RLD TH-7 A STD	GT-2 A STD DETACHED 2-CAR	5.59 X 6.10	16.60	68.8	

- BUILDING TO ENSURE WATERBOX IS ACCESSIBLE AND OPERATIONAL AT ALL TIMES